



A fabulous three bedroom apartment over the top two floors of this period building with outstanding views from the large terrace

**Coolhurst Road, Highgate, London, N8**

£1,100,000 Share of Freehold

**savills**

Bright Period Conversion • Spacious with split level accommodation • Fabulous Rear terrace with far reaching views toward Alexandra Palace • Easy reach of Crouch End • Good transport connections at Highgate (Northern Line)

### About this property

This immaculate three bedroom two bathroom split level period conversion is set over the second and third floor of this imposing double fronted residence. This stunning property consists of a large reception room with concertina doors opening to the terrace with panoramic views of the London skyline including Alexandra Palace. The well fitted kitchen is bright & spacious and just off the reception room, whilst the bedrooms are on the lower level.

### Local Information

Coolhurst Road is one of Highgate's finest residential streets with impressive period houses within easy reach of both Crouch End and Highgate Village, where there are a plethora of fabulous shops, cafe's and restaurants. Transport links are nearby at Highgate (Northern Line) as well as multiple bus connections to the City & the West End from Crouch End and Archway. The apartment is also conveniently located in the catchment area of highly regarded schools such as Coleridge Primary School in Crouch End and Highgate Woods Secondary School.

### Tenure

Share of Freehold

### Local Authority

London Borough Of Haringey

### Energy Performance

EPC Rating = D

### Viewing

All viewings will be accompanied and are strictly by prior arrangement through Savills Hampstead Office.  
Telephone: +44 (0) 20 7472 5000.

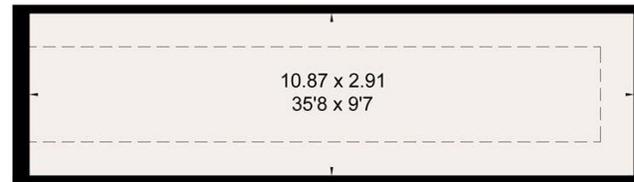




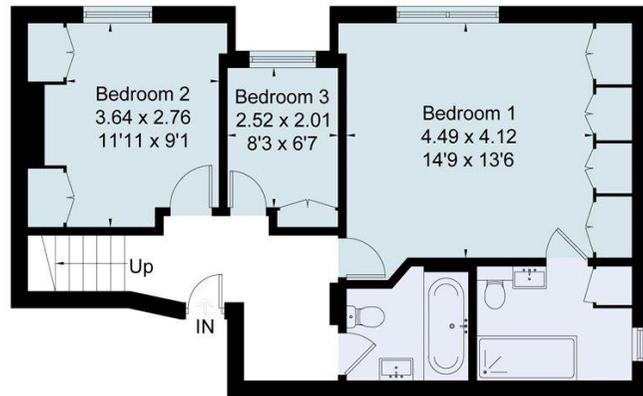
Approximate Area = 112.9 sq m / 1215 sq ft  
 Loft = 31.6 sq m / 340 sq ft  
 Total = 144.5 sq m / 1555 sq ft  
 Balcony Area = 12.0 sq m / 129 sq ft  
 Including Limited Use Area (15 sq m / 161 sq ft)  
 For identification only. Not to scale.  
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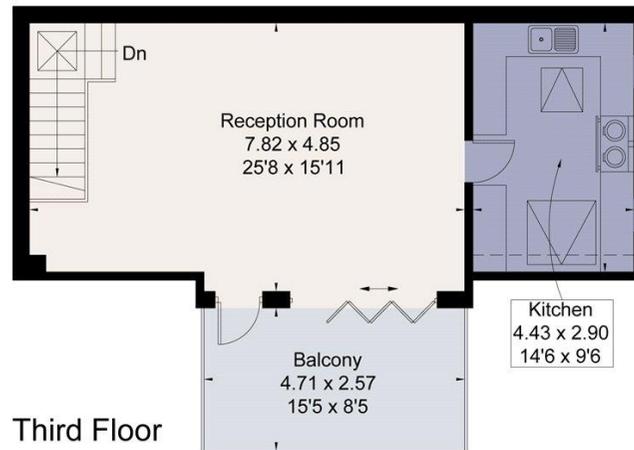
= Reduced head height below 1.5m



Loft



Second Floor



Third Floor

Surveyed and drawn in accordance with the International Property Measurement Standards (IPMS 2: Residential)  
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| Energy Efficiency Rating                    |                         |           |
|---|-------------------------|-----------|
|   | Current                 | Potential |
| Very energy efficient - lower running costs |                         |           |
| (92+) <b>A</b>                              |                         |           |
| (81-91) <b>B</b>                            |                         |           |
| (69-80) <b>C</b>                            |                         |           |
| (55-68) <b>D</b>                            | 68                      | 79        |
| (39-54) <b>E</b>                            |                         |           |
| (21-38) <b>F</b>                            |                         |           |
| (1-20) <b>G</b>                             |                         |           |
| Not energy efficient - higher running costs |                         |           |
| England, Scotland & Wales                   | EU Directive 2002/91/EC |           |

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