



A phenomenal, eye-catching house in the very midst of
the Heath.

Spaniards End, Hampstead, London, NW3

Guide Price £3,250,000 Freehold



Remarkable Freehold house • Noteworthy location by Hampstead Heath • Two bedrooms & Two bathrooms • Off Street parking • Outstanding finish

Local Information

Spaniards End is a private turning accessed from Spaniards Road. Discreetly positioned and literally abutting Hampstead Heath, Spaniards End offers exclusivity and tranquility whilst being within just four miles of London's West End. Hampstead Village, with its plethora of shops, restaurants and cafés as well as excellent transport connections to the City and the West End is within easy reach (approximately one-mile walking distance).

About this property

Nestled on the edge of the Heath off Spaniards End, which is a private road offering ample parking for visitors, this exceptional freehold house is something to behold. There is a relatively unassuming approach to the house, with off- street parking for one car on the drive in front of the property.

On entering the property, you are immediately struck by the drama of the raised elevation and floor-to-ceiling glass which truly brings the Heath directly into your evolving living area. The house is set over just two levels with a large completely secluded patio garden on the lower floor. There are two generous bedrooms which are beautifully accompanied by stylish bathrooms and plenty of open plan living. The kitchen is set back from the outstanding reception area, where there is free flowing space allowing for working from home, lounge and dining options.

Tenure

Freehold

Local Authority

London Borough of Barnet

Council Tax

Band = G

Energy Performance

EPC Rating = C

Viewing

All viewings will be accompanied and are strictly by prior arrangement through Savills Hampstead Office.

Telephone: +44 (0) 20 7472 5000.

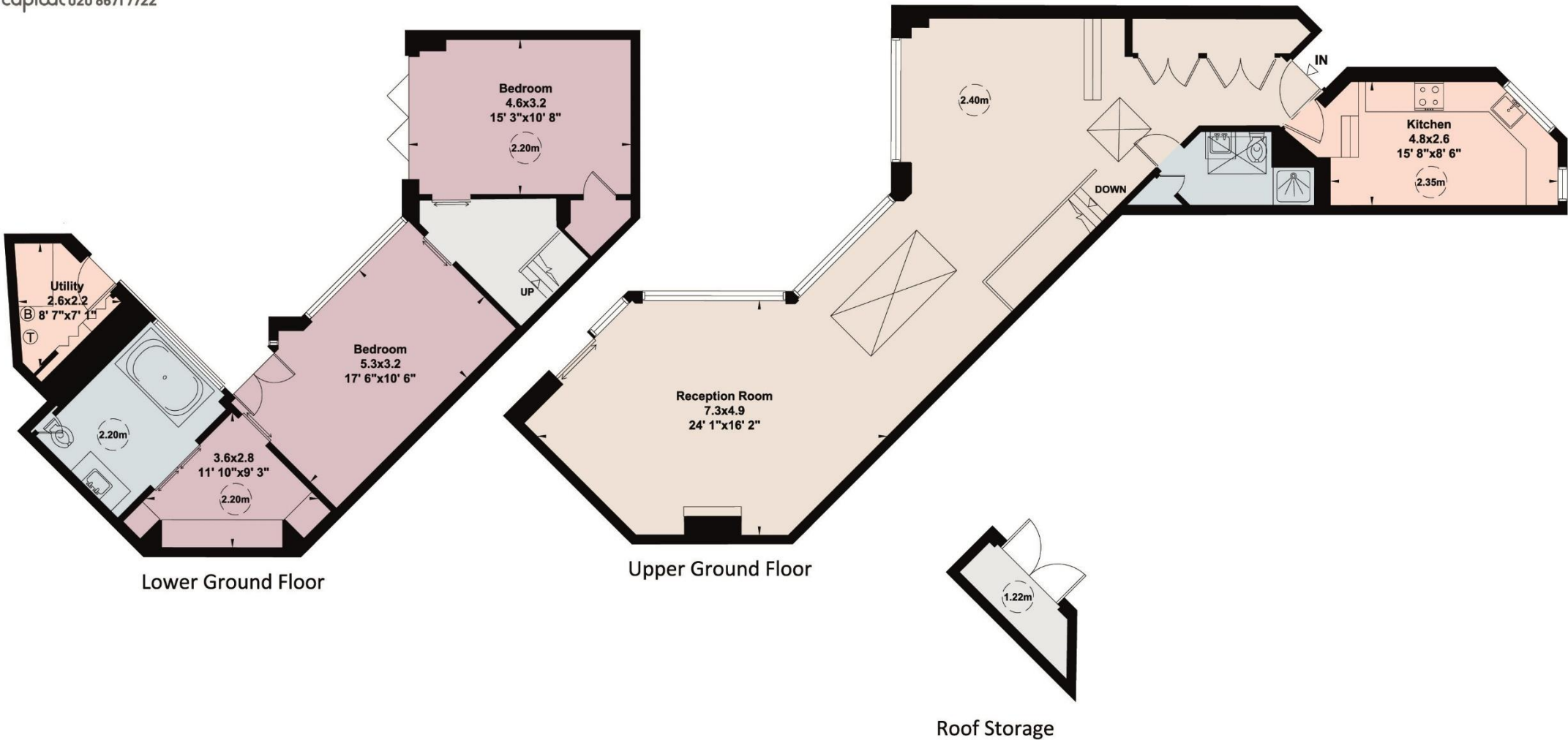




Spaniards End, NW3

Gross internal area (approx.)
151 Sq m (1626 Sq ft) Including Roof Storage
144 Sq m (1553 Sq ft) Excluding Roof Storage
For identification only, Not to Scale

capital 020 8671 7722

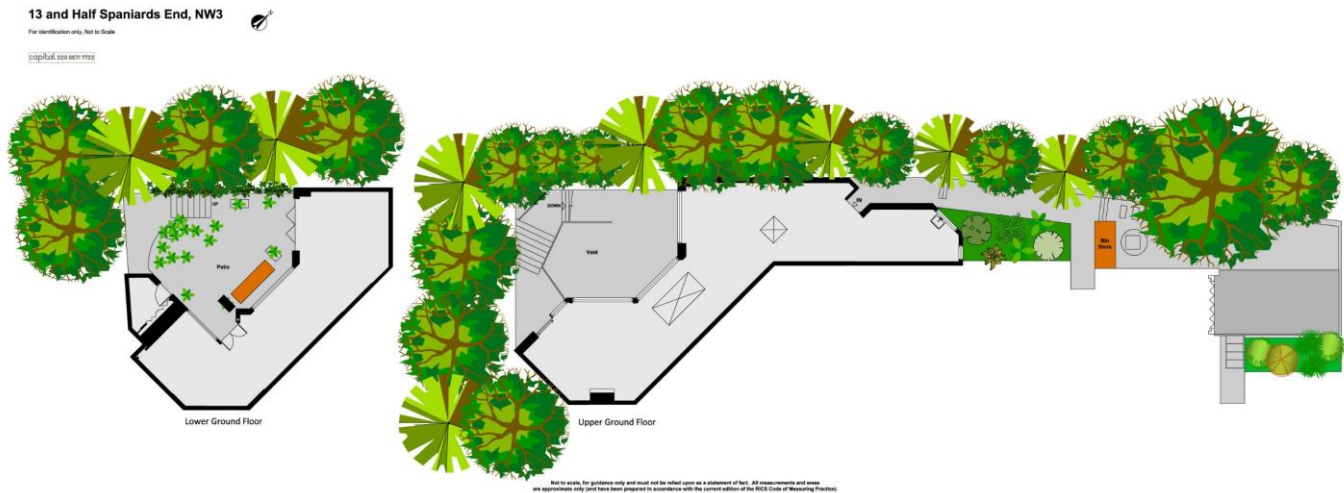


Not to scale, for guidance only and must not be relied upon as a statement of fact. All measurements and areas are approximate only (and have been prepared in accordance with the current edition of the RICS Code of Measuring Practice).

Spaniards End, Hampstead, London, NW3
Gross Internal Area 1553 sq ft, 144.3 m²

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Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92+) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
England, Scotland & Wales	EU Directive 2002/91/EC	

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