

AUCHENHALRIG FARM

FOCHABERS • MORAY



savills

AUCHENHALRIG FARM

FOCHABERS • MORAY • IV32 7PP

Fochabers 3 miles, Buckie 5 miles, Inverness 51 miles, Aberdeen 59 miles

A Prime Arable Farm on the Moray Coastal Plain

LOT 1 – AUCHENHALRIG FARMHOUSE AND Paddock

2 reception rooms, 5 bedroom farmhouse with integral garage

2.79 acre paddock

3.26 acres in total

LOT 2A – AUCHENHALRIG STEADING

Traditional steading with development potential

Infill cattle court

1.43 acres in total

LOT 2B – AUCHENHALRIG LAND SOUTH

153.75 acres (148.50 acres arable, 3.61 acres pasture and 1.64 acres other land)

Modern general purpose building

153.75 acres in total

LOT 3 – AUCHENHALRIG LAND NORTH

119.94 acres (112.56 acres arable, 4.81 acres woods, 2.56 acres other land)

119.75 acres in total

About 278.38 acres (112.66 hectares) for sale as a whole or in 3 lots

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LOCATION

Auchenhalrig is situated in the north east of Scotland, in gently undulating countryside to the west of Buckie. The Moray coast is renowned for its mild climate and early cropping of potatoes and vegetables. The nearby village of Fochabers provides primary and secondary education and a health centre together with a wide variety of thriving small specialist shops including convenience stores, post office, chemist, hairdressers, antique shops, hotels, café and garden centre. The small fishing town of Buckie is about 5 miles to the north east and has a good range of shops, three primary schools and a secondary school as well as a post office and bank. Buckie's harbour remains one of the most active in Scotland with a considerable fleet of fishing boats resident there.

The nearby town of Elgin 12 miles away is the regional centre for Moray providing a comprehensive range of facilities with supermarkets, shopping centre, leisure centre, hospital, cinema, hotels and restaurants. Co-educational private schooling is available at Gordonstoun 17 miles away.

Auchenhalrig is situated in lower Spey valley, an area famed for its Scottish malt whisky distilling industry, which is not only a popular draw for tourists following the Malt Whisky Trail, but a useful outlet for malting barley. There are maltings at nearby Portgordon and Buckie.

The recreational opportunities in the area are excellent. Moray is well known for its spectacular coastline and its high quality golf courses including a championship course at Nairn 33 miles away and nearer to Auchenhalrig an 18 hole course at Buckie 5 miles and Strathlene 8 miles. The river Spey is of course a famous salmon fishing river and is only 1.5 miles to the west.

Moray is renowned for its excellent quality arable land and is well served by agricultural and grain merchants and has

a successful local machinery ring based in Elgin which can provide additional farming resources as required.

DESCRIPTION

Auchenhalrig is a productive arable farm which extends to about 278 acres in total with a large traditional farmhouse situated centrally within the farm. The house has an imposing position at the entrance to the small hamlet of Auchenhalrig. A minor public road bisects the farm and provides access to the majority of the land.

The farm benefits from shelter thanks to its woodland surroundings although sea views can be glimpsed from the farmhouse.

The farm steading is a fine traditional u-shaped arrangement with an infill cattle court and silage pit. It may have potential for development subject to the necessary consents.





LOT 1 – AUCHENHALRIG FARMHOUSE & Paddock

Auchenhalrig Farmhouse is a spacious traditional farmhouse constructed of stone under a pitched slate roof. The original part of the house is of natural pointed stonework. The extensions are generally harled stone and blockwork under slate and pantile roofs. The most recent extension carried out in 1978 created a useful double garage, store, shower room and utility room. The farmhouse is approached by a private driveway from the minor public road. The driveway leads to a concrete parking area in front of the garages.

The two storey house provides generous family accommodation. The ground floor has two principal reception rooms, a large kitchen, utility room, shower room, bedroom/study, storeroom and integral double garage. On the first floor there are four further bedrooms, a box room and a bathroom. The accommodation would benefit from some modernisation and upgrading. It retains a number of attractive period features including a fine staircase with ornate iron banister in the hall, open fireplaces with woodburning stoves and deep skirtings and cornice work in the living rooms. The windows are a mixture of double and single glazed units. There is oil fired central heating and a Rayburn range cooker in kitchen.

Outside

The house is surrounded by a good sized garden mainly laid out to lawn and containing a number of mature trees and shrubs.

Paddock

To the north of the house is a grass paddock which is well fenced and has a water trough. The paddock extends to 2.79 acres and provides useful grazing for horses or for use as a smallholding.



Auchenhalrig Farm

Gross internal area (approx.):
323.5 sq. metres (3482.1 sq. feet)

For identification only. Not to Scale.



LOT 2A – AUCHENHALRIG STEADING

There is a useful range of farm buildings situated opposite the farmhouse on the south side of the public road. These comprise a large u-shaped stone and slate steading with infill cattle court and Dutch barn. Details are as follows:

West Wing – Traditional Steading

Workshop – concrete floor, loft over, 5.2m x 4.1m

Store – cobbled floor, loft over, 5.2m x 3.48m

Stable – cobbled floor, 5.2m x 6.58m

Loose box – 5.2m x 9.61m

Store – concrete floor, loft over, 5.2m x 17.0m

Store – concrete floor, loft over, 4.95m x 7.14m

Grain dryer – concrete floor, reception pit, 5.2m x 7.62m

East Wing

Cart shed – concrete floor, 5.3m x 7.54m

Byre and Bothy – concrete floor, 5.2m x 22.37m

Cart shed – cobbled floor, with loft over 5.2m x 11.95m

Infill cattle court – steel portal frame with corrugated asbestos cement sheeted roof, central silage pit with two cattle courts to either side, 36.5m x 29.3m

Stores – Stone and slate at entrance to cattle court 5.76m x 8.92m and 5.7m x 3.1m

Dutch barn – 5 bay timber framed construction with earth floor, corrugated asbestos sheeted roof, corrugated steel sheeted sides, 9.26m x 19.4m



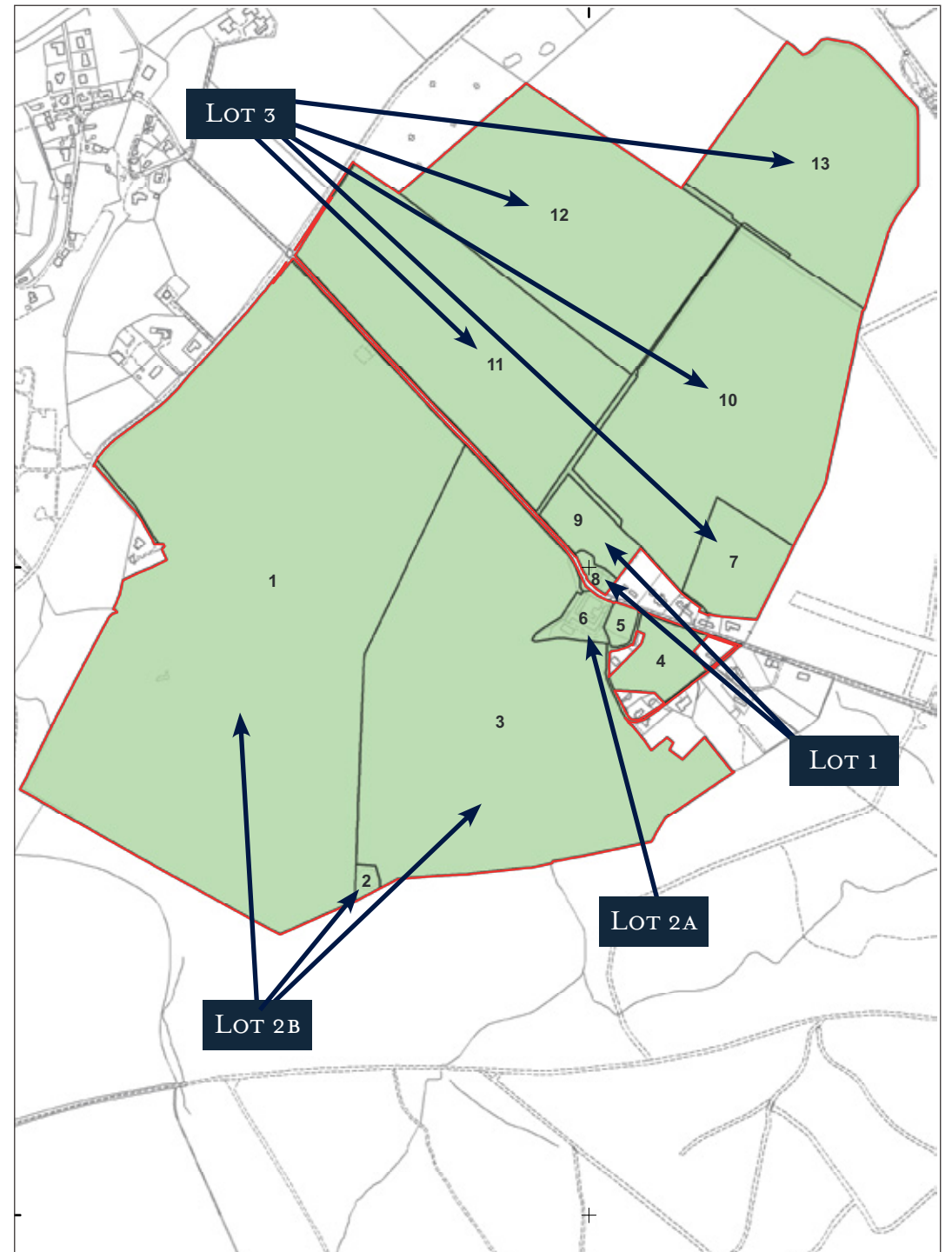
LOT 2B & 3 - THE LAND

The majority of the land at Auchenhalrig is classified as class 3(2) with a small area on the eastern edge of the farm classified as 4(1) by the James Hutton Institute. The land is relatively flat or gently undulating around the 40 metres above sea level contour. The fields are all capable of arable production and are of a good workable size with access obtained mainly from the public road. The land has been farmed in rotation with a mixture of grass leys, cereals, potatoes and carrots. The soils are of medium to light loam with a low stone content. A small area has been planted with trees on the south eastern corner of the farm extending to 4.81 acres. The farm benefits from considerable shelter from the surrounding woodlands. A breakdown of the land areas for Lots 2 and 3 are set out below:

Lot 2b - Auchenhalrig Land South										
Field No.	Arable		Permanent Pasture		Woods		Other		Total	
	Ha	Acres	Ha	Acres	Ha	Acres	Ha	Acres	Ha	Acres
1	38.757	95.77							38.76	95.77
2							0.17	0.41	0.17	0.41
3	21.34	52.73							21.34	52.73
4			1.199	2.96					1.20	2.96
5			0.261	0.64					0.26	0.64
other							0.50	1.24	0.50	1.24
Sub Total	60.10	148.50	1.46	3.61			0.67	1.64	62.22	153.75
Lot 3 - Auchenhalrig Land North										
Field No.	Arable		Permanent Pasture		Woods		Other		Total	
	Ha	Acres	Ha	Acres	Ha	Acres	Ha	Acres	Ha	Acres
7					1.95	4.81			1.95	4.81
10	13.72	33.89							13.72	33.89
11	11.50	28.42							11.50	28.42
12	11.37	28.10							11.37	28.10
13	8.97	22.15							8.97	22.15
other							1.04	2.56	1.04	2.56
Sub Total	45.55	112.56			1.95	4.81	1.04	2.56	48.54	119.94
Total	105.65	261.06	2.59	6.39	1.95	4.81	1.89	6.11	112.66	278.38

There is an agricultural building in field 1 of Lot 2b comprising a steel portal frame, general purpose building with concrete floor and brick walls, 23 m x 18m





GENERAL REMARKS AND INFORMATION

Directions

From the west take the A96 trunk road as far as Fochabers. Immediately after crossing the river Spey turn left on the roundabout signed to Spey Bay B9104. Follow this road for 1 ¾ miles taking the first turning on the right to Portgordon. After ½ a mile turn right onto the minor road to Auchenthalrig, the farm is on both sides of the road and the house is at the entrance to the hamlet on the left. From the east on the A98 or A96 continue as far as Fochabers. Follow the bypass to the western end of the village and turn right on the roundabout signed to Spey Bay and continue as above. A location plan is incorporated in these particulars.

Viewing

Strictly by appointment with Savills. Given the potential hazards of a working farm, we request that you take care when viewing the property especially around the farmyard. Telephone 01343 823000.

Entry and Possession

Entry by arrangement.

Offers

Letters of Intent setting out the price to be paid and any specific conditions of the purchase are to be submitted to the selling agents, Savills, 7 The Square, Fochabers, Moray IV32 7DG. A closing date may be fixed and prospective purchasers are advised to register their interest with the selling agents following inspection. If a closing date is fixed, prospective purchasers are advised to submit a Letter of Intent at the closing date. The contract to follow thereon will be based on the Crown Estate Scotland (Interim Management) standard missives and an offer to sell will be issued to the successful purchaser.

Solicitors

Anderson Strathern LLP, 1 Rutland Court, Edinburgh, EH3 8EY
Tel. 0131 270 7700

Services, Council Tax and EPC

The farmhouse and steading are served by a mains electricity and mains water supply with the meter points in the farm steading. In the event of a sale in lots the purchasers of Lots 1 and 2b will jointly share the cost of separating the supplies. Auchenthalrig Farmhouse is connected to private drainage.

Auchenthalrig Farmhouse is in Council Tax Band E and has an EPC rating of F.

Fixtures and fittings

All fitted carpets and curtains in the farmhouse are included in the sale. All fixed plant including the grain drier and oil tanks are also included in the sale. The Sellers give no warranty on the condition of any central heating systems, white goods or any other items included within the sale.

Servitude rights, burdens and wayleaves

The property is sold subject to and with the benefit of all servitude rights, burdens, reservations and wayleaves, including rights of access and rights of way, whether public or private, light, support, drainage, water and wayleaves for masts, pylons, stays, cable, drains and water, gas and other pipes, whether contained in the Title Deeds or informally constituted and whether referred to in the General Remarks and Stipulations or not. The Purchaser(s) will be held to have satisfied himself as to the nature of all such servitude rights and others.

The Sellers will retain a right of access and servitudes for services over the Property. In the event of a sale in lots, appropriate rights of access and servitudes will be granted.

Basic Payment Scheme (BPS)

The farm is registered for IACS purposes. The BPS entitlements are not included in the sale.

Sporting Rights

The sporting rights are included.

Mineral and Timber Rights

In so far as they are owned, the mineral rights are included in the sale. All standing and fallen timber is included in the sale.

Clawback

The farm will be subject to an obligation from the Purchaser in favour of the Crown Estate Scotland (Interim Management) to pay 50% of the uplift in value occurring as a result of any non-agricultural planning permission granted in respect of any part of the farm in the period of 20 years from completion. The Purchaser will be required to enter into a Clawback Agreement with the Crown Estate Scotland (Interim Management) in their standard style. This obligation will bind successors in title and will be subject to a security in favour of Crown Estate Scotland (Interim Management).

VAT

All of the farmland and buildings have been opted to tax. VAT will be due on the whole price with the exception of the residential elements.

STIPULATIONS

Purchase Price

Within 7 days of the conclusion of missives a non-returnable deposit of 10% of the purchase price shall be paid.

The balance of the purchase price will fall due for payment at the date of entry (whether entry is taken or not) with interest accruing thereon at the rate of 5% above Bank of Scotland base rate. No consignment shall be effectual in avoiding such interest.

Disputes

Should any discrepancy arise as to the boundaries or any points arise on the Remarks, Stipulations or Plan or the interpretation of any of them, the question shall be referred to the arbitration of the selling agents whose decision acting as experts, shall be final.

Plans, Areas and Schedules

These are based on the Ordnance Survey and are for reference only. They have been carefully checked and computed by the selling agents and the purchaser shall be deemed to have satisfied himself as to the description of the property and any error or mis-statement shall not annul the sale nor entitle either party to compensation in respect thereof.

Overseas Purchasers

Any offer by a purchaser(s) who is resident outwith the United Kingdom must be accompanied by a guarantee from a banker who is acceptable to the sellers.

Lotting

It is intended to offer the property for sale as described, but the seller reserves the right to divide the property into further lots, or to withdraw the property, or to exclude any property shown in these particulars.

Generally

Should there be any discrepancy between these particulars, the General Remarks and Information, Stipulations and the Missives of Sale, the latter shall prevail.

Apportionments

The Council Tax and all other outgoings shall be apportioned between the seller and the purchaser(s) as at the date of entry.

Proof of Funding

The Purchaser should submit together with their letter of intent proof of funding to satisfy the Seller that the Purchaser has sufficient funds available to purchase the Property.



IMPORTANT NOTICE

Savills, their clients and any joint agents give notice that:

1. They are not authorised to make or give any representations or warranties in relation to the property either here or elsewhere, either on their own behalf or on behalf of their client or otherwise. They assume no responsibility for any statement that may be made in these particulars. These particulars do not form part of any offer or contract and must not be relied upon as statements or representations of fact.

2. Any areas, measurements or distances are approximate. The text, photographs and plans are for guidance only and are not necessarily comprehensive. It should not be assumed that the property has all necessary planning, building regulation or other consents and Savills have not tested any services, equipment or facilities. Purchasers must satisfy themselves by inspection or otherwise.

18/05/30 JW

